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1.0 BACKGROUND

As new Tourist Commercial Development will take place in existing neighbourhoods, the purpose of these Design Guidelines is to ensure compatibility with the surrounding neighbourhood. The scale and character of the existing neighbourhoods on Bowen Island, and the desire to ensure compatibility of new Tourist Commercial uses with their neighbourhoods, suggests that new development should respect the scale and character of existing buildings on adjacent properties. The following guidelines set out criteria under which any new proposal can be evaluated to ensure compatibility and pertain to all applications to develop new Tourist Commercial (Accommodation) developments.

The following guidelines are not an attempt to dictate the style of Guest House and Small Inn accommodations. Instead, these guidelines are an attempt to encourage "hallmarks of quality" in the form and character of tourist commercial developments, in a way which reflects Bowen Island's architectural and landscaping traditions. These guidelines are not meant to be interpreted so as to inhibit innovative landscape or building design elements which complement the examples given. In cases where proposed Guest House or Small Inn development is also situated within another designated Development Permit Area, such as the Snug Cove Area, those guidelines apply with equal force.

1.1 Historical Precedents

Houses on Bowen Island typically reflect the informal lifestyle of the Island, and are typically modelled on cottage or rural design precedents. Guest Houses and Small Inns have also been a part of Island Development since early days. Three notable precedents which may provide valuable clues as to the types of development which would likely be seen to be compatible with residential neighbourhoods are:



The Orchard Cottages - these cottages were developed in the 1920's and provide a good precedent as accommodation was provided in a series of small traditionally styled cottages in keeping with the image of a country retreat. The cottages incorporate four features important to establishing an informal residential character: a hipped gable roof, a large front porch, small paned casement windows and the use of wood for all exterior building materials.

Mannion's Hotel and Mount Strahan Lodge - Both these buildings reflect larger models of guest houses/small inns which reflect the informal residential character appropriate to development in a residential neighbourhood, including sloped roofs, porches and articulated massing.



1.2 Landscape Precedents

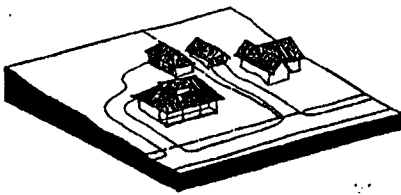
The existing landscaping on Bowen Island is indicative of a rural island community. Amongst the native coniferous forest, woodland gardens and open pastures have been planted. Although the landscape layout and use of materials is often informal, specific areas of highly formalised landscaping should not be precluded. The materials used for landscaping include wood, stone and vegetation (native or non native). The landscaping for inns or guest houses should conform and further enhance this existing rural character of Bowen Island.

2.0 SITE RELATED ISSUES

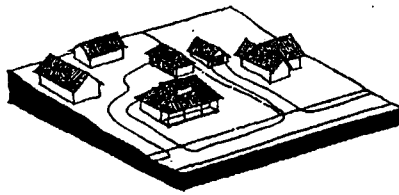
Generally, inns and guest houses should be located on relatively large rural lots rather than on smaller lots in residential subdivisions.

2.1 Building Location / Size

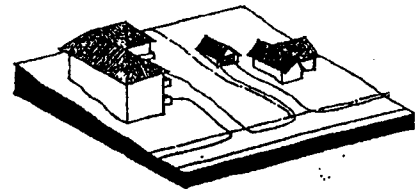
New buildings should, where reasonable, emulate the setbacks of buildings on surrounding properties. Building size should also be compatible with surrounding buildings. For Guest Houses, the building should be of similar size and located on the site in a similar manner to surrounding buildings. For Small Inns, where a larger facility is anticipated, rather than proposing one large building, the concept of one building matching the scale of adjacent buildings and surrounded by some smaller cottages should be considered if appropriate to the context.



**Guest Houses
Encouraged**



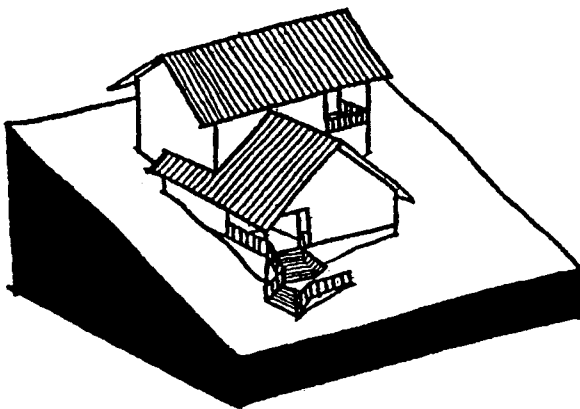
**Small Inns
Encouraged**



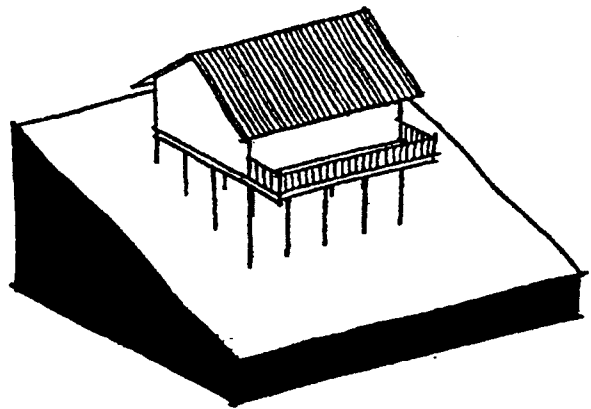
Avoid

2.2 Topography

Buildings should respect and respond to the topography of their sites. Buildings should not be supported on columns or other exposed structural systems unless their use is more environmentally sensitive and their appearance reflects



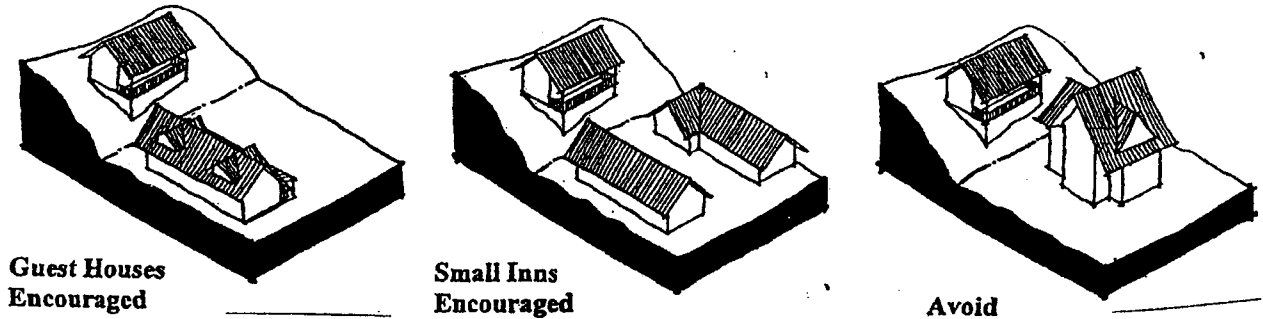
Encourage
traditional design precedent.



Avoid

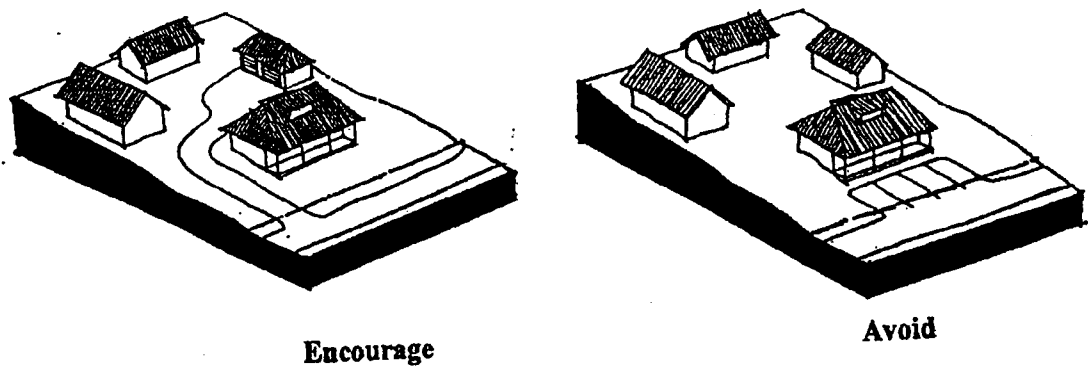
2.3 View Considerations

Buildings should be sited to respect the existing views from buildings on adjacent properties. For Small Inns, where the size of single building facility would impact on a neighbour's views, the option of development of the facility as a grouping of smaller buildings may be more appropriate.



2.4 Parking and Vehicle Access

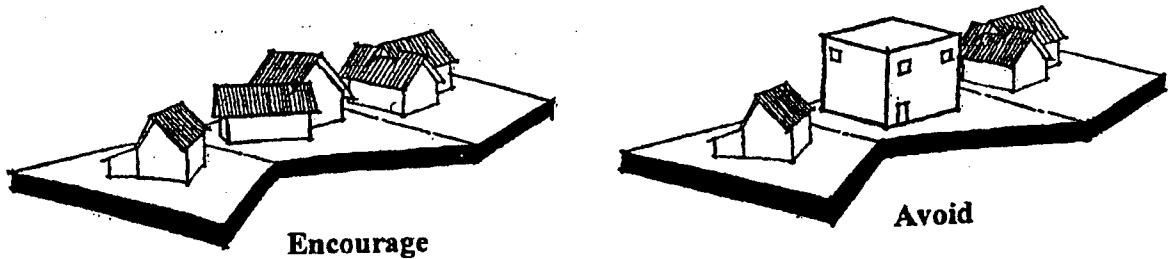
Parking should be located in discrete locations out of view from public roadways. Consideration should be given to parking dispersed into small pockets with 4 or 5 stalls maximum in each pocket. Primary vehicular access should be derived directly from a dedicated roadway, as opposed to common property access, easement over an adjacent lot, etc.



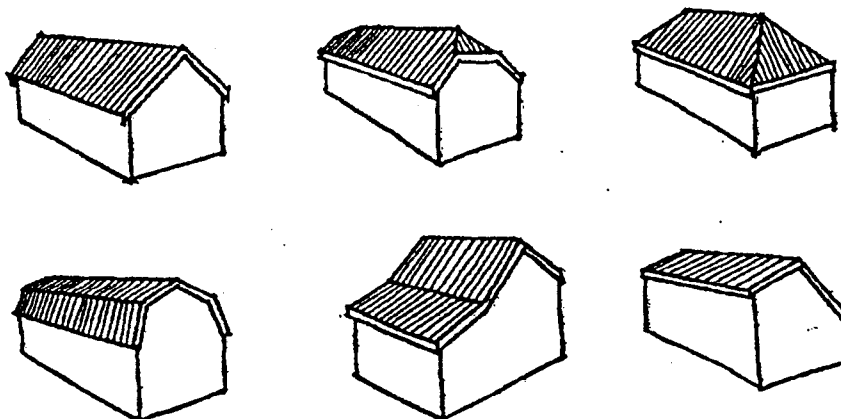
3.0 BUILDING RELATED ISSUES

3.1 Building Articulation

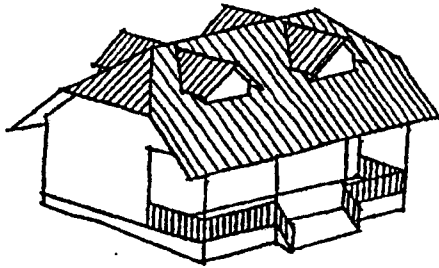
- **Building Massing** - Building Massing should reflect the massing and scale of adjacent residential buildings. To decrease the sense of scale, buildings should be articulated into smaller scaled elements.



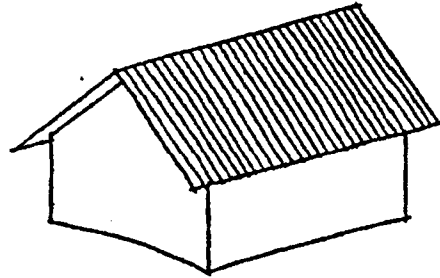
- **Roof Form** - Flat roofs and roofs with shallow pitch generally do not reflect local housing traditions. Appropriate roof forms would be those typically found on residential buildings on Bowen Island including the following:



- **Building Articulation** - Even small scaled building volumes should be articulated to provide visual interest and reflect Bowen Island traditions. Roofs can be articulated with dormers, shaped gable ends etc.. Building elevations can be given more interest with the addition of porches, bay windows etc..



Encourage



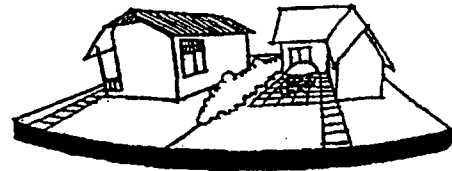
Avoid

3.2 Windows and Doors

- **Window Location** - Windows should be located with care to avoid overlooking of exterior living space of adjacent homes and properties.

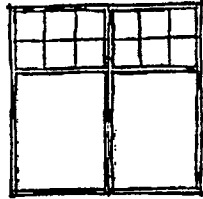


Encourage

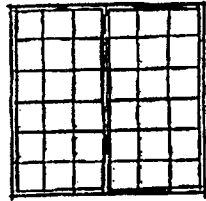


Avoid

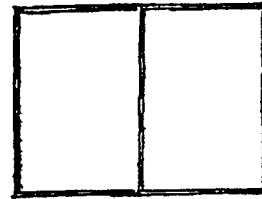
- **Window Design** - Window style and shape are important in establishing a building's character. Traditional window styles should be considered, and the use of large scale windows avoided except in situations not visible from other properties or roadways. Innovative use of contemporary styles in the traditional design context should not be discouraged.



Encourage



Encourage



**Use Only In Discrete
Locations For Views**

3.3 Design Continuity

Exterior detailing should be consistent on all sides of the building. For example if multi-paned windows are to be used on the facade facing the street, the same style windows should be used on all facades. Similarly, siding, windows, doors and miscellaneous trims should generally be consistent.

3.4 Building Materials

Traditional building materials used on Bowen Island should be used. Appropriate materials would include, but are not limited to, the following:

Siding: Natural materials such as wood, including board and batten, horizontal and vertical wood siding, and wood shingles. Limited use of material such as stucco may be considered. Vinyl and aluminium siding is not appropriate and is discouraged.

Roofing: Wood shingles or Duroid shingles, although metal roofs and clay tiles may be considered.

Windows: Wood windows with true divided lights would be most appropriate. Vinyl and metal windows similar in appearance to wood windows are also appropriate, if properly executed in traditional design and trim.

Doors: Wood doors are preferred, but metal doors may be used if in keeping with traditional design and colour. Divided lights in doors should be true divided lights.

Chimneys: Chimneys clad in siding to match the adjacent siding, stone and brick are acceptable. Concrete block chimneys are discouraged, but may be acceptable depending on the extent to which they are compatible with the overall building design and colour.

3.5 Building Colours

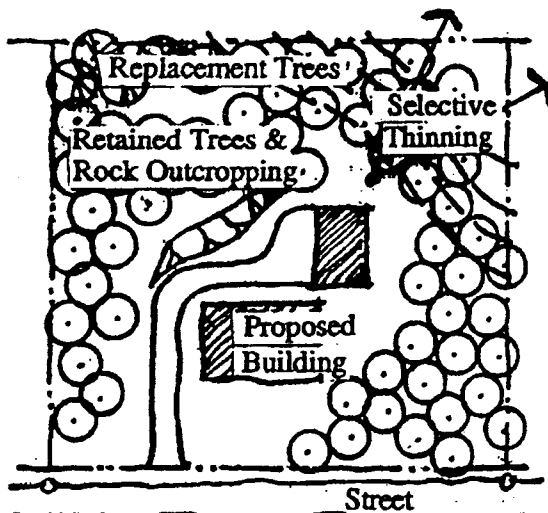
Colours schemes used on Guest Houses and Small Inns should be subdued, in harmony with the architectural design of the project, and complimentary to development within the surrounding area. Colour pallets such as the Benjamin Moore Historical Colour Collection or similar colour collections from other paint manufacturers are encouraged.

4.0 LANDSCAPING

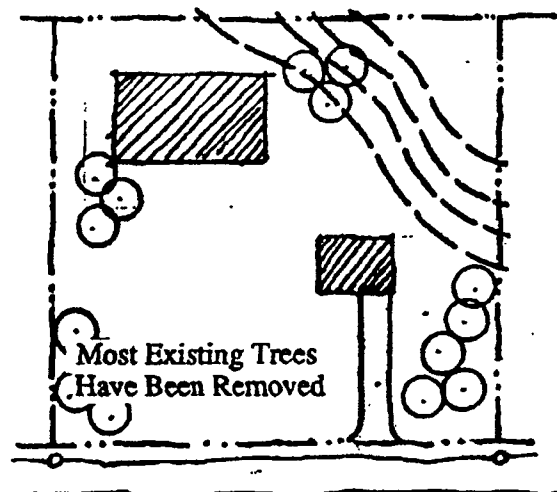
The applicant should submit a comprehensive landscape plan showing existing and proposed new planting, as part of a development permit application.

4.1 Existing Landscape

- Applicants should not move or cut any trees on site until a development permit has been issued.
- Existing trees of all calliper shall be encouraged to remain where use and grading allow. Mature coniferous trees and vegetation within the perimeter setback shall be given the greatest retention priority. This will also provide privacy, define property line edges, retain natural wildlife habitat, and assist with conformance to rural character.
- Buildings should be configured to preserve existing trees and rock outcroppings, and respect the natural topography.
- Any trees removed over 15cm in diameter should be replaced at a minimum ratio of 1:1, preferably with native species that are found in the area. Minimum conifer size should be 1.5m and deciduous 5cm diameter.
- To improve views selective pruning, thinning and crown raising should be done by a certified arborist to proper arboricultural standards. Topping and clearing of trees should not be done, because it creates a potential hazard for



Maintain the Existing Landscape Features
the site.

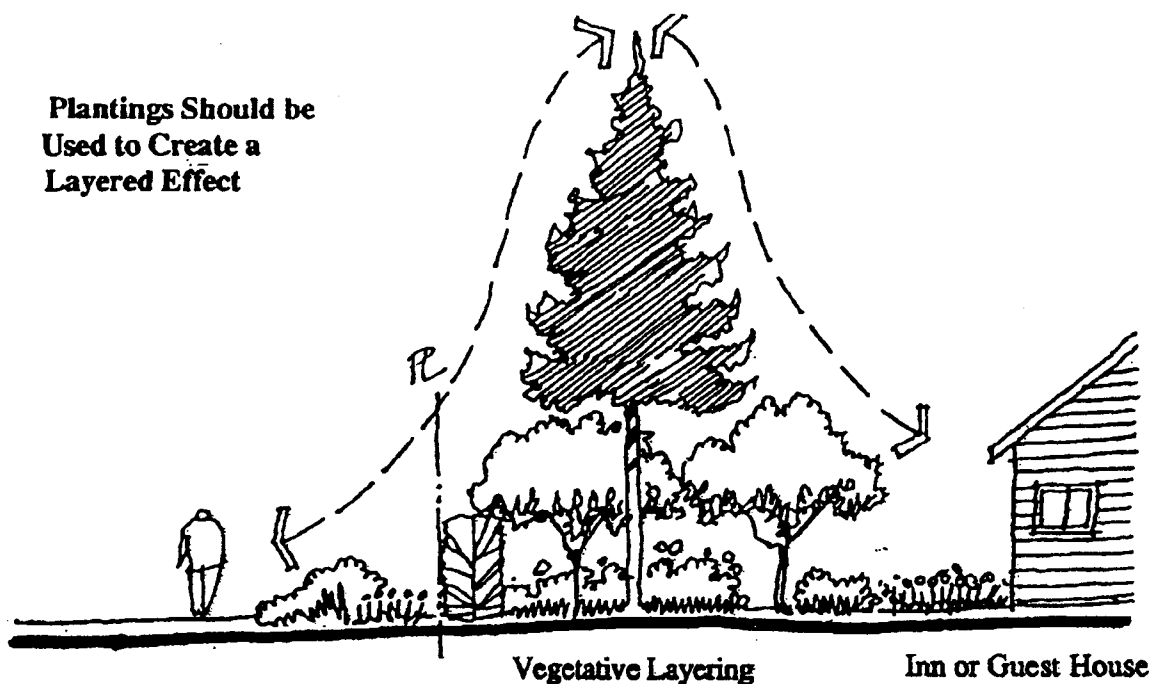


Not This

4.2 New Vegetation

The guidelines are:

- Use plants that are well suited to the west coast climate. The plants should be either native to the area or tolerant of dry summers. This will assist with conserving the limited water resources of the island and the use of harmful pesticide substances. Native plants make gardens compatible with the existing wildlife habitat and its regional context. Refer to suggested plant list below.
- Minimise and group in specific areas the number of plant species that are edible by deer. This will reduce the requirement for perimeter deer fencing. Refer to suggested plant list on the following page.
- Plantings should be used to create a layered effect. Plants of varied heights can be planted along the forest edges, strengthening garden edges and improving wildlife habitat.



SCHEDULE "F"
 TOURIST COMMERCIAL (ACCOMMODATION) DEVELOPMENT PERMIT GUIDELINES

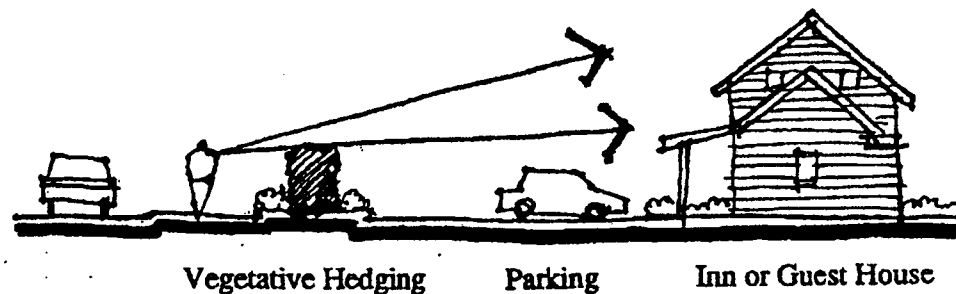
Native	Drought Tolerant	Deer Resistant	Species (Common and Botanical Names)
Trees			
X	X	X	<i>Abies grandis</i> , Grand fir
X		X	<i>Acer circinatum</i> , Vine maple
X	X	X	<i>Arbutus menziesii</i> , Pacific madrone
X		X	<i>Betula papyrifera</i> , Paper birch
X	X	X	<i>Cornus nuttallii</i> 'E. W. Wonder', Pac. dogwood
X	X	X	<i>Picea sitchensis</i> , Sitka spruce
X	X	X	<i>Pinus contorta</i> , Shore pine
X	X	X	<i>Pseudotsuga menziesii</i> , Douglas fir
	X	X	<i>Quercus garyanna</i> , Gary oak
	X	X	<i>Robinia pseudo-acacia</i> , Black locust
X		X	<i>Thuja plicata</i> , Western red cedar
Shrubs			
	X	X	<i>Arbutus unedo</i> , Strawberry tree
	X	X	<i>Choisya ternata</i> , Mexican orange blossom
X		X	<i>Cornus stolonifera</i> , Redtwig dogwood
X	X	X	<i>Gaultheria shallon</i> , Salal
X	X	X	<i>Mahonia nervosa</i> , Longleaf oregon grape
	X		<i>Myrica californica</i> , Colifornia wax myrtle
X	X		<i>Philadelphus lewisii</i> , Mock orange
X	X		<i>Potentilla fruticosa</i> , Shrubby cinquefoil
X	X		<i>Prunus Laurocerasus</i> 'Otto Luyken', Laurel
X	X		<i>Ribes sanguineum</i> , Red-flowering currant
	X	X	<i>Rosa rugosa</i> , Shrub Rose
X	X	X	<i>Rosa woodsii</i> , Shrub Rose
X		X	<i>Taxus brevifolia</i> , Pacific Yew
X		X	<i>Vaccinium ovatum</i> , Evergreen huckleberry
X		X	<i>Vaccinium parvifolium</i> , Red huckleberry
Ground Covers & Perennials			
X			<i>Aquilegia formosa</i> , Western columbine
X	X	X	<i>Arctostaphylos uva-ursi</i> , Kinnikinnik
X			<i>Asarum caudatum</i> , Wild ginger
X	X		<i>Carex macrocephala</i> , Bighead sedge
X	X		<i>Genista pilosa</i> , Genista
X	X		<i>Hypericum calycinum</i> , St. Johnswort
X	X		<i>Lupinus littoralis</i> , Tree lupin
X	X	X	<i>Mahonia aquifolium</i> , Oregon grape
X		X	<i>Polystichum munitum</i> , Sword Fern

4.3 Screening

The establishment of an inn or guest house in rural or rural residential areas necessitates a larger number of vehicles and increased garbage to be stored on site. Both vehicular and garbage storage are unsightly and should be screened. Existing screening on Bowen Island is varied, but the type of materials are similar: wood, stone or vegetative planting. The screening of vehicles, garbage and other visually intrusive aspects of an inn or guest house should conform to established screening precedents of Bowen Island.

The guidelines are:

- Visually intrusive aspects of inns or guest houses such as parking or garbage areas should be screened from direct view of the street or abutting properties through landscaping, walls, fencing and hedges; intervening principal buildings or structures can also assist in providing an effective screen.

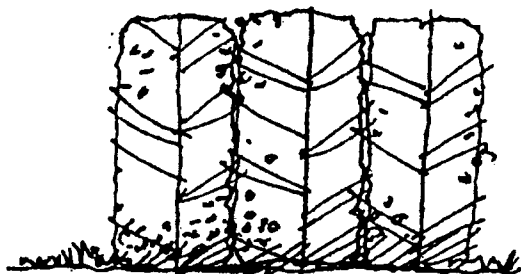


Vegetative Hedging Parking Inn or Guest House

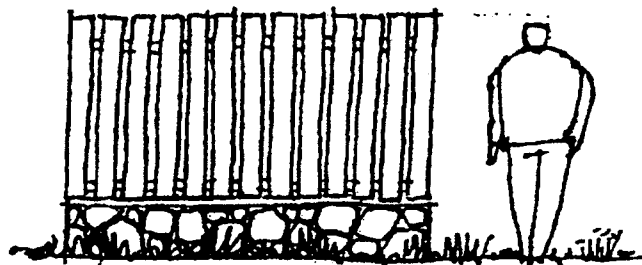
Screen Visually Intrusive Aspects of Inns or Guest Houses

SCHEDULE "F"
TOURIST COMMERCIAL (ACCOMMODATION) DEVELOPMENT PERMIT GUIDELINES

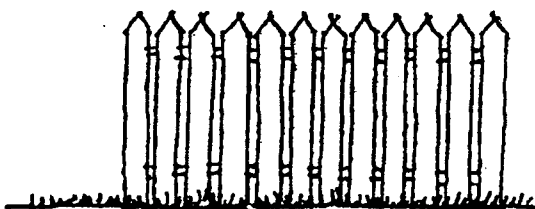
- Suggested materials and uses include stone walls, open wooden fencing, or evergreen hedges. Metal screening should be avoided.
- Solid board fencing or stone walls should not exceed 1.8m in height.



Evergreen Hedge



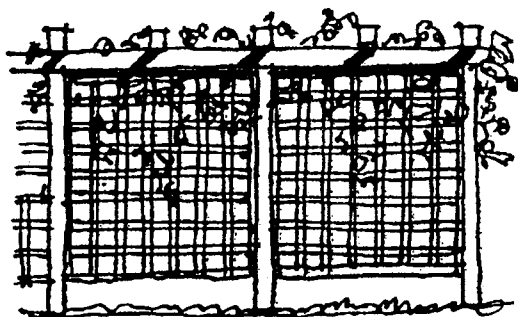
Stone Wall with Fencing



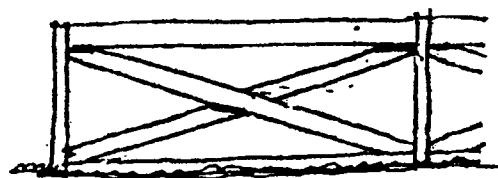
Wooden Picket Fence



Stone Wall with Random or Rustic Pattern



Wooden Trellis



Open Wooden Fence

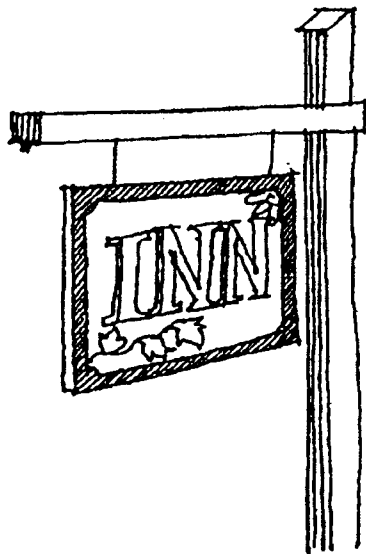
Suggested Screening Material & Uses

4.4 Signs

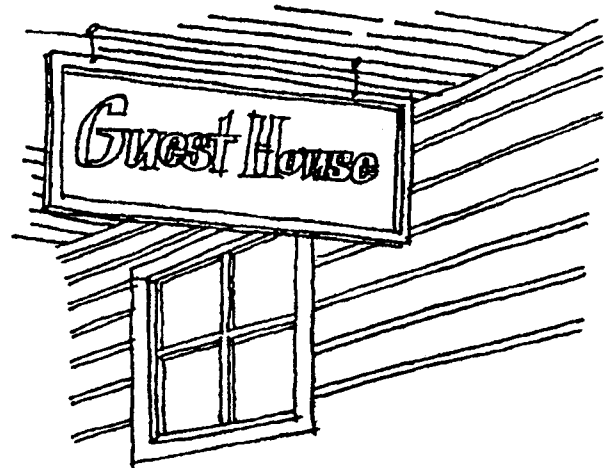
Presently, most signs in rural residential areas are of wooden construction and generally modest. The following guidelines seek to maintain this vernacular.

The guidelines are:

- Although, generally, the face of the sign should be fabricated of material such as carved or painted wood or ceramics, the creative use of other natural materials, carved stone for example, or the use of traditional man made materials such as fabric or metal is not discouraged in the appropriate design context. The use of synthetic material such as plastic is not appropriate.
- Neon, animated, flashing, back-lit, balloon, and similar types of signs are not permitted.
- Signs may be mounted in a variety of ways including attachment to a wall or soffit overhang, roof mounted, or hung from a free standing structure. The sign's position and manner of display should have a high level of compatibility with the architecture of the development and the surrounding area.



Wooden Sign Hung from Free Standing Structure



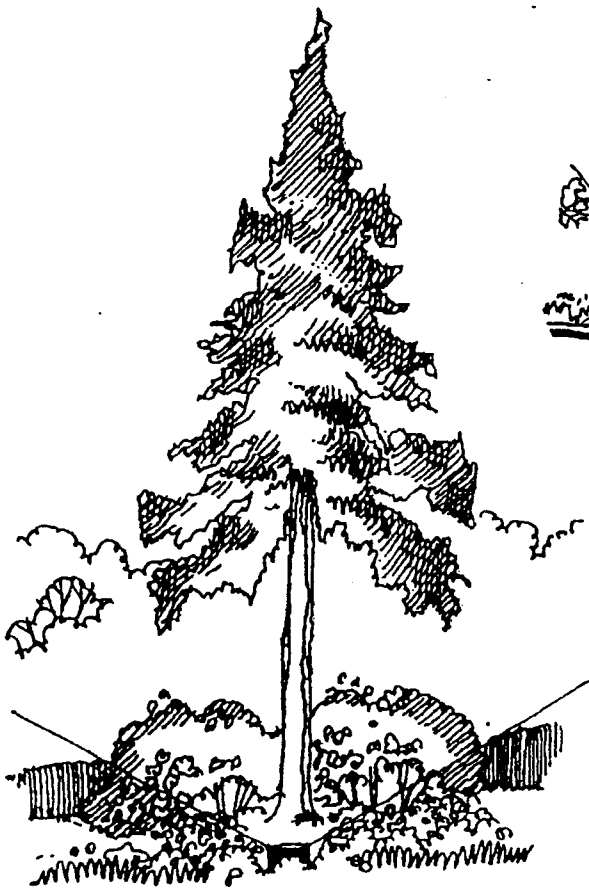
Wooden Sign Attached to Overhang

4.5 Lighting

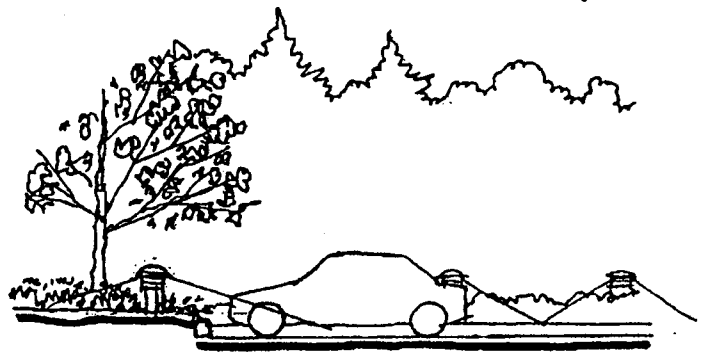
The rural residential character of Bowen Island does not support intensive lighting. However, given the service nature of inns and guest houses very limited use of lighting is necessary.

The guidelines are:

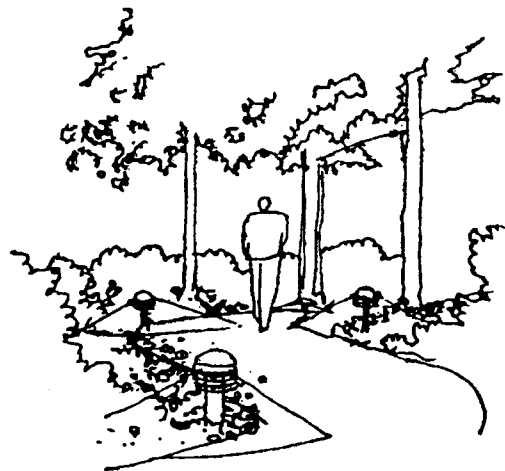
- Lighting should be as subdued as possible. The whole property should not be lit. Lighting should only be used for guest safety or to highlight one or two special features of the property.



Uplighting of a Specimen Tree



Bollard Low Lighting in Parking Areas



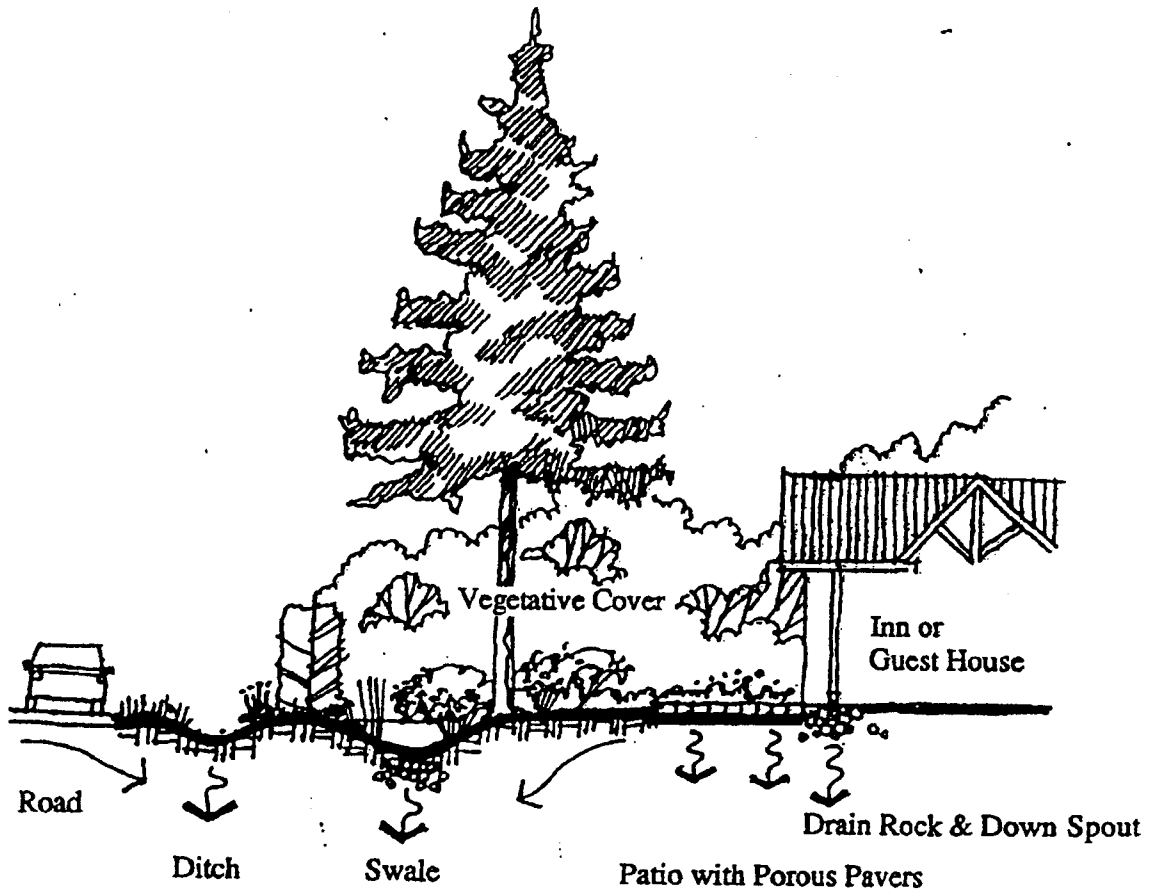
Bollard Low Lighting Along Pathways

4.6 Surface Materials & Drainage

The rural, natural character of Bowen Island demands a more sensitive approach to surfacing materials. Both surfacing material and grading must ensure drainage and groundwater recharge.

The guidelines are:

- Use pervious surfaces for vehicular and pedestrian traffic to encourage natural infiltration of surface water. Suggested materials include fines, gravel or porous pavers. Discourage the use of asphalt or poured concrete.
- Grading should allow all onsite water to naturally infiltrate within the property line. This could be achieved through vegetative cover, swales or retention



Grading & Pervious Surfacing Should Allow for Groundwater Recharge
ponds.